

RECEIVED

JAN 24 2020

CITY OF PLEASANTON
PLANNING DIVISION

Middle 8 Conditional Use Permit Statement

EXHIBIT B
P19-0432

Introduction

“Middle 8” are the eight measures or “bridge” in a song after the first two verses. The part of the song that breaks up the monotony, changes the tone, the beat, and the key. Middle 8 the bar is going to be no different. It's going to take what we've seen become bars today and turn it into something that's new, unique, but still a throwback to the swanky hotel bar look of the 70's with a few musical twists.

Decorated in a style that harkens back to the 70's Fern Bar but with boxes of vinyl albums, classic exposed speakers, retro sound equipment, and warm woods and lighting that bring a feeling of comfort and class to give it a real “joint” feel. The updated 70's style is fun and stylish without being over the top!

Regular live music such as jazz trios will bring the idea full circle as the focus on hanging out in a friend's remodeled room listening to the highest quality in sound will relax and entertain you.

Middle 8's award winning design alongside their impeccable ability to deliver amazing drinks and snacks with an overall customer experience that makes guests keep coming back for more makes this a sure-fire hit in downtown Pleasanton.

Considerations

Hours of operation - Open daily at 4pm until 1am

Planned last call is 12:30. All customers will be out of the building and the doors locked by 1am

The game room will consist of a single pool table and a TV.

Planned maximum capacity is 150 including the private party room. The private party room will be for special events like birthday parties and corporate meetings

On site staff will range from 2 to 10 people depending on the night.

Exterior doors will have automatic closing apparatus and will remain closed except upon customer entrance/exit. There are no windows that can be opened. The back door will be for fire exit only and will not be an entrance. The door will be monitored with a video camera.

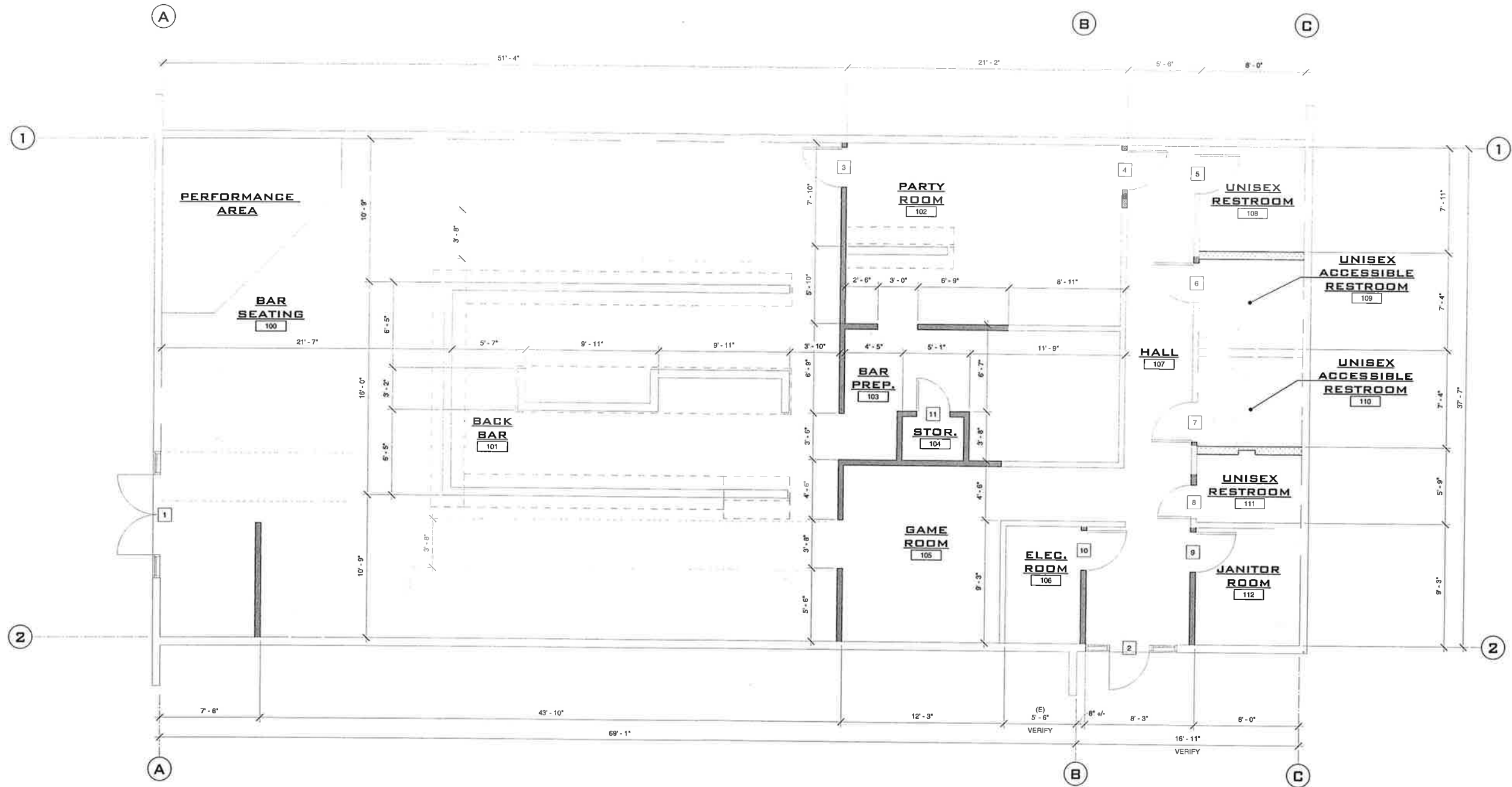
Door staff will ensure that the property is monitored for trash as well as reduced noise levels. Signs will be installed to request customers depart quietly. Bartenders will all undergo TIPS training.

Door staff will be employed to manage the crowd and ID's on applicable nights. There will also be video surveillance. Security guards will be hired as necessary.

Live music will be a regular feature and will include jazz or blues music. There will be no DJs. Live music will end at 12pm every night of the week.

Limited food service, including snacks and small plates/bites, could be made available during the normal operating hours of a partnered restaurant, such as the immediately adjacent Pairings wine bar. Limited on-site snacks (e.g. chips, pretzels, nuts, other snacks, et cetera) would also be available for purchase during the operating hours of the bar.

There will be no new construction of any kind on the site, merely a remodeling of the interior. The current site plan remains.



NORTH
FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	BY

COMMERCIAL ARCHITECTURE, INC.
 THEODORE J. BRANDVOLD, ARCHITECT
 616 14TH STREET, MODESTO, CA 95354
 PH (209) 571-8158 FAX (209) 571-8160

PROJECT : MIDDLE B - BAR & LOUNGE
 INTERIOR TENANT IMPR.
 CLIENT : RICK DOBBS
 LOCATION : 310 MAIN STREET
 PLEASANTON, CA
 A.P.N.:

DRAWN
 Author
 DATE
 1/21/2020 5:52:10 PM
 JOB NO.
 19-183
 TITLE
 FLOOR PLAN

SHEET
A-2.0
 OF SHEETS

BOLLINGER NAIL SPA TENANT IMPROVEMENT

310 SUITE D MAIN STREET
PLEASANTON, CA 94566

DRAWING INDEX

- ARCHITECTURAL
- A-0 TITLE SHEET
- A-1 FLOOR PLAN
- A-2 DETAILS
- ELECTRICAL
- E-1 ELECTRICAL POWER & LIGHTING PLAN
- MECHANICAL
- M-1 HVAC PLAN
- PLUMBING
- P-1 PLUMBING PLAN
- ENERGY COMPLIANCE FORMS
- I-1 LIGHTING
- I-2 MECHANICAL

SYMBOL

- DOOR NUMBER
DOOR SCHEDULE
HARDWARE GROUP
- WINDOW TYPE
- REVISION NUMBER
- WORK POINT, DATUM POINT
OR CONTROL POINT
- ELEVATION IDENTIFICATION
SHEET WHERE ELEVATION IS DRAWN
- SECTION IDENTIFICATION
SHEET WHERE SECTION IS DRAWN
- DETAIL IDENTIFICATION
SHEET WHERE DETAIL IS DRAWN
- INTERIOR ELEVATION IDENTIFICATION
SHEET WHERE INTERIOR ELEVATION IS DRAWN
- ROOM NAME
- ROOM NO.
- FLOOR SCHEDULE
- BASE SCHEDULE
- CEILING SCHEDULE
- WALL SCHEDULE

BUILDING DATA

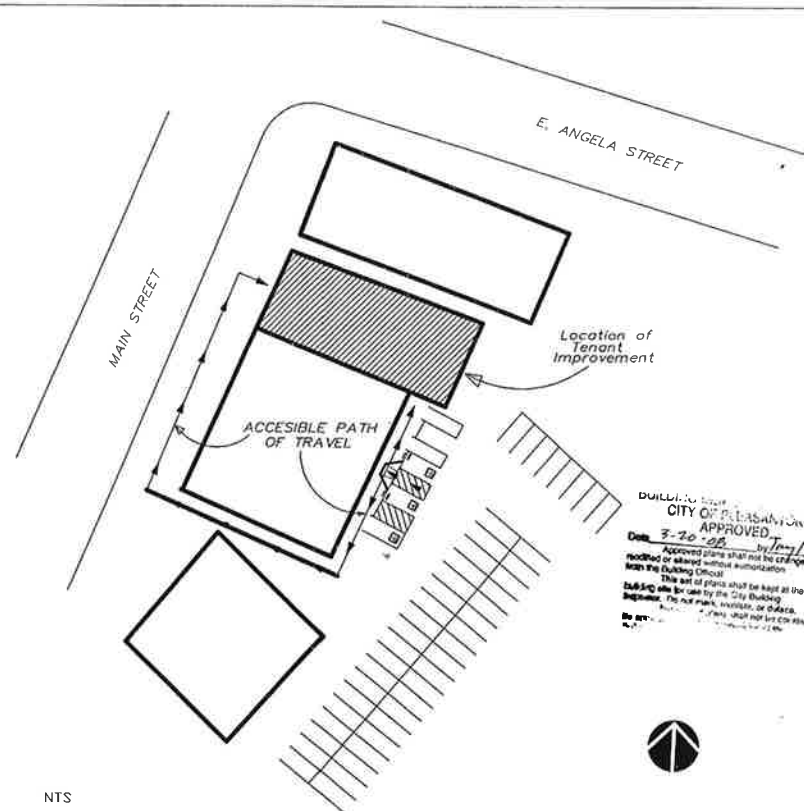
TYPE OF CONSTRUCTION III, 1 HR.
OCCUPANCY R
NUMBER OF STORIES 1
TENANT PARKING PARKING LOT
AREA OF ALTERATION 3268 SQ.FT.
OCCUPANT LOAD 3268/280=17
FIRE SPRINKLER SYSTEM NONE NO.
CALIFORNIA BUILDING CODE 2001
CALIFORNIA MECHANICAL CODE 2001
CALIFORNIA PLUMBING CODE 2001
CALIFORNIA ENERGY CODE 2005
CALIFORNIA ELECTRICAL CODE 2004

PROJECT DESCRIPTIONS

THIS PROPERTY IS A NEW SPA FACILITY.
SCOPE OF WORK INCLUDES NEW ACCESSIBLE RESTROOM,
NEW INTERIOR PARTITION WALLS, SOFFIT CEILING,
PEDIStRE CHAIRS AND HAND SINKS.

ENGINEER OF RECORD: ANDREW BUI

SITE PLAN



ABBREVIATION

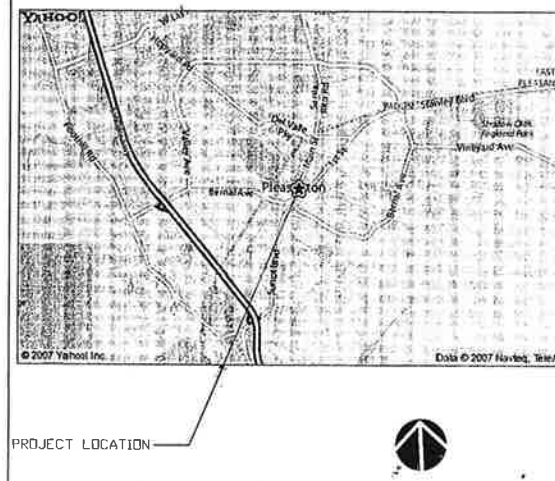
&	And	E.J.	Expansion Joint	LAB.	Laboratory	R.W.L.	Redwood Rain Water Leader
∠	Angle	CL	Elevation	LAM.	Laminated	S.A.D.	South Architectural Drawing
⊙	Centerline	ELEV.	Elevation	LAV.	Lavatory	S.C.D.	Soil Core
⊕	Centerline or Round	EMER.	Emergency	LCK.	Locker	S.E.D.	Schedule
#	Found or Number	ENCL.	Enclosure	LKR.	Locker	S.H.I.E.D.	Shower Head
(S)	Noted	ENR.	Engineer	LT.	Light	S.S.D.	Schedule
(N)	New	E.P.	Electrical Panelboard	MAS.	Masonry	S.S.D.	Schedule
		E.Q.T.	Equipment	MAV.	Masonry	S.S.D.	Schedule
A.B.	Anchor Bolt	E.W.C.	Electric				
ACOUS.	Acoustical	EXST.	Existing				
A.D.	Area Drain	EXPO.	Exposure				
ADJ.	Adjustable	EXT.	Exterior				
AGGR.	Aggregate						
AL.	Aluminum						
ALT.	Alternate						
A.U.	Access Panel						
APPROX.	Approximate						
ARCH.	Architectural						
ASB.	Asbestos						
ASPH.	Asphalt						
A.F.F.	Above Finish Floor						
B.B.	Bulletin Board						
BD.	Board						
BLUM.	Illuminous						
BLD.	Building						
BLK.	Block						
BLK.	Blocking						
BM.	Beam						
BOT.	Bottom						
CAB.	Cabinet						
C.B.	Catch Basin						
CEL.	Cement						
CEN.	Center						
C.C.	Construction Joint						
CL.	Ceiling						
CLG.	Cladding						
CLC.	Clear						
CLD.	Clear						
CO.	Coast						
CO.	Coast						
CONC.	Concrete						
CONC.	Concrete						
CONSTR.	Construction						
CONTR.	Contractor						
CORD.	Corridor						
CSK.	Countersink						
CTR.	Center						
DET.	Detail						
DISP.	Dispenser						
D.O.	Door Opening						
DWR.	Downspout						
D.S.P.	Downspout						
DWG.	Drawing						
E.	East						
E.A.	Expansion Bolt						
E.B.	Expansion Bolt						

GENERAL NOTES

- BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE:
 - VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES.
 - COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED, AND
 - NOTIFIED THE ENGINEER OF RECORD, INCONSISTENCIES AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS.
- FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENTS AT NO ADDITIONAL COST.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.
- CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERRORS ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.
- CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.
- DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.
- COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE. DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.
- IMMEDIATELY UPON ENTERING THE SITE FOR PURPOSES OF BEGINNING WORK, LOCATE GENERAL REFERENCE POINTS AND LAY OUT WORK AND BE RESPONSIBLE FOR LINES ELEVATION AND MEASUREMENTS, AND WORK EXECUTED UNDER THIS CONTRACT, EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON PLANS BEFORE LAYING OUT WORK.
- CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSION AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTOR'S OR SUBCONTRACTOR'S WORK IN ANY WAY DEPENDS. NO "EXTRA" OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN. SUBMIT DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECTS AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECTS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC) 2001, CALIFORNIA MECHANICAL CODE (CMC) 2001, CALIFORNIA PLUMBING CODE (CPC) 2001, CALIFORNIA ENERGY CODE (CEC) 2005, CALIFORNIA ELECTRICAL CODE (CEC) 2004, AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK, AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- APPROVED NUMBERS AND/OR LETTERS SHALL BE PLACED ON ALL BUILDINGS, TO BE VISIBLE FROM THE STREET, COLOR CONTRASTING TO BACKGROUND. ADDRESS PLASTING IS REQUIRED ON THE BUILDING FIRE DEPARTMENT ACCESS, AND ALL REAR DOORS.

"6 INCHES HIGH X 3/4 STROKE"

VICINITY MAP



The use of these drawings and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Re-use, reproduction or publication by any method in whole or part is prohibited. Title to these plans and specifications shall remain with BN Consulting Engineers without prejudice, and shall contact with them shall constitute prima facie evidence of acceptance of these restrictions.
© BN CONSULTING GROUP

REVISIONS	By
1 CITY COMMENTS	01/09/08

REVIEWED
JAN 3 0 2008
BOLLINGER NAIL SPA SUITE 201
310 SUITE D MAIN STREET
PLEASANTON, CA 94566

RECEIVED
JAN 25 2008
CITY OF PLEASANTON BLDG.

TITLE SHEET



Proj. No. 0146
Drawn: GBN
Date: 2-12-07
Scale: NTS
Sheet: A-0
Sheet No. 1 of 8 Total Sheets

400
REC'D L&C
CITY COMMENTS
Comp. 2/12/08
REC'D L&C